



Board of Adjustment Case Report

City of Raleigh
Department of City Planning
One Exchange Plaza
Raleigh, NC 27601
(919) 996-2626
www.raleighnc.gov

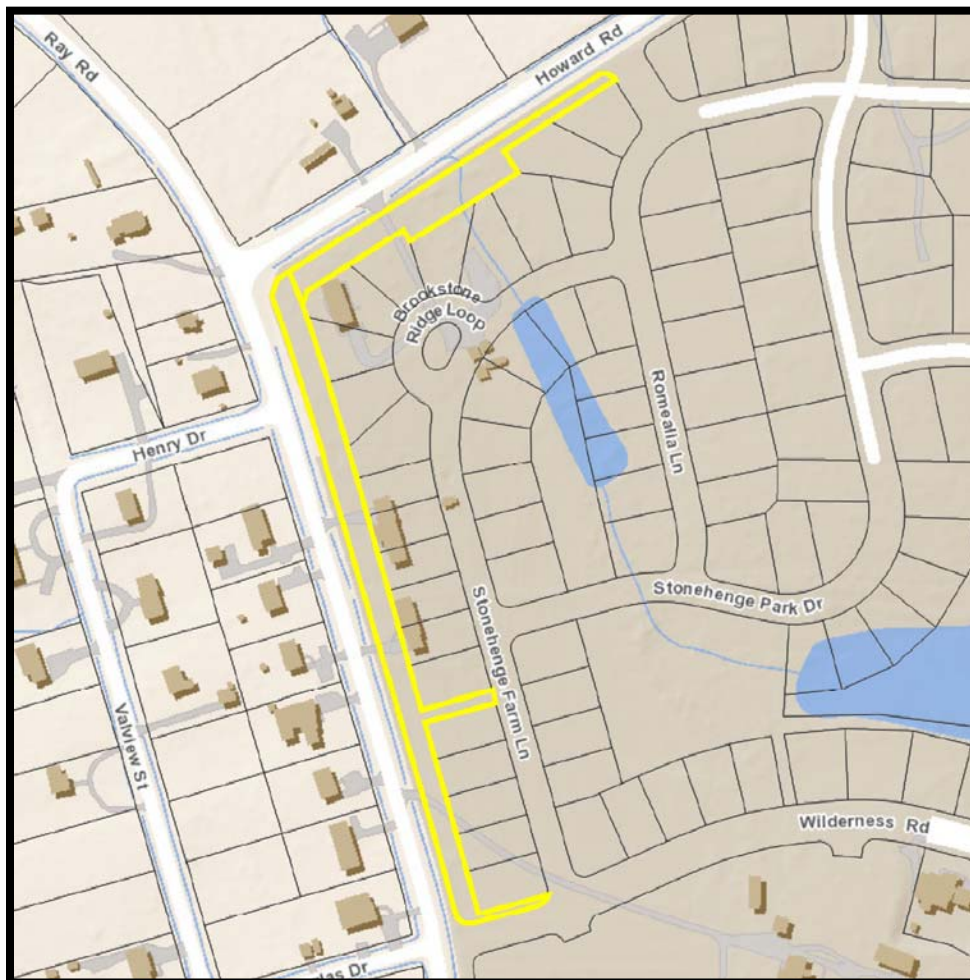
Case File: A-123-17

Property Address: 7621 Stonehenge Farm Lane & 2605 Stonehenge Manor Drive

Property Owner: Stonehenge Manor HOA

Project Contact: Rob Bailey

Nature of Case: A request for a variance from the maximum 50% opacity requirements for the portion of fence over 4' in height and located in a front yard setback as set forth in Section 7.2.8.B.8. of the Unified Development Ordinance in order to construct a 6' tall solid wooden fence in the front yard setbacks of both a .95 acre property and a .54 acre property, both zoned Residential-4, and located at 7621 Stonehenge Farm Lane and 2605 Stonehenge Manor Drive respectively.



7621 Stonehenge Farm Lane & 2605 Stonehenge Manor Drive – Location Map

To BOA: 11-13-17

Staff Coordinator: Eric S. Hodge, AICP

**ZONING
DISTRICTS:** Residential-4



7621 Stonehenge Farm Lane & 2605 Stonehenge Manor Drive – Zoning Map

VARIANCE STANDARDS: In accordance with UDO [§10.2.10 Variance](#), before a variance request is granted, the Board of Adjustment shall show all of the following:

1. Unnecessary hardship would result from the strict application of the ordinance. It shall not be necessary to demonstrate that, in the absence of the variance, no reasonable use can be made of the property.
2. The hardship results from conditions that are peculiar to the property, such as location, size or topography. Hardships resulting from personal circumstances, as well as hardships resulting from conditions that are common to the neighborhood or the general public, may not be the basis for granting a variance.
3. The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify the granting of a variance shall not be regarded as a self-created hardship.
4. The requested variance is consistent with the spirit, purpose and intent of the ordinance, such that public safety is secured and substantial justice is achieved.

Zoning District Standards: The subject property is zoned Residential-4

Lot Dimensions

Area (min)	10,000 SF
Width – interior lot (min)	65
Width – corner lot (min)	80'
Depth -	100;'

Yard Type **Minimum Setback (Principal Bldg)**

Primary Street	20'
Side Street	15'
Side	10'
Sum of Sides	20'
Rear	30'

Yard Type **Minimum Setback (Accessory)**

Primary Street	50'
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Side Street	20'
Side	5'
Rear	5'

Sec. 7.2.8. Walls and Fences

A. Applicability

The following requirements apply to walls and fences located outside of a protective yard or required screening area.

B. General Standards

1. Fences and walls must be constructed of high quality materials including 1 or a combination of the following: decorative blocks; brick; stone; cast-stone; architectural block; split-faced block; stucco over standard concrete masonry blocks; glass block; wood; wrought iron; composite fencing; wire; PVC vinyl; aluminum; metal or other material approved by the Planning Director.

2. No wall or fence can be located within any tree conservation area.

3. No wall or fence can be located within any City of Raleigh utility easement without prior written approval of the Director of Public Utilities.

4. No wall or fence can be located within any required drainage easement without prior written approval of the Public Works Director.

5. Barbed wire or concertina wire may be allowed in accordance with Sec. 13-3011.

6. Except in an IH district, chain-link fences are not allowed in any front or side street setback.

7. The maximum length of a continuous, unbroken and uninterrupted fence or wall plane shall be 100 feet. Breaks shall be provided through the use of columns, landscaped areas, transparent sections or a change in material.

8. Except in an IH district, a wall or fence not more than 6 and one half feet in height may be located in a front or side street setback, provided the opacity of the wall or fence above 4 feet in height does not exceed 50%.

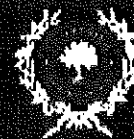
9. A wall or fence may not exceed 8 feet in height in a side or rear setback unless it is located adjacent to a street, in which case it may be no more than 6 and one half feet in height, provided the opacity of the wall or fence above 4 feet in height does not exceed 50%.

Cross reference: The Director of Public Utilities may approve structures within City of Raleigh utility easements, Sec. 8-2012(d).

Application for Variance



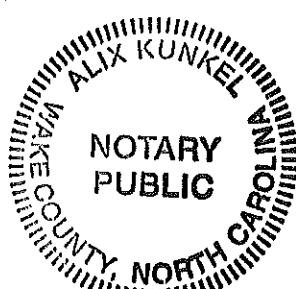
RALEIGH
DEPARTMENT OF
CITY PLANNING



Department of City Planning | 1 Exchange Plaza, Suite 300 | Raleigh, NC 27601 | 919-996-2626

Submit application to: Development Services Customer Service Center, 1 Exchange Plaza, Suite 400, Raleigh, NC 27601

NATURE OF REQUEST	OFFICE USE ONLY
Nature of variance request (If more space is needed, submit addendum on separate sheet): Stonehenge Manor HOA is requesting a variance from Raleigh UDO Section 7.2.8.B.8 to construct a 6 foot tall solid wooden fence located in the front yard setback of Ray and Howard Roads.	Transaction Number A-123-17
Provide all previous transaction numbers for Coordinated Team Reviews, Due Diligence Sessions, or Pre-Submittal Conferences. If this property was the subject of a previous variance request, provide the case number.	

GENERAL INFORMATION		
Property Address 7621 Stonehenge Farm Lane	Date 10-13-17	
Property PIN 0797-17-8110	Current Zoning R-4	
Nearest Intersection Ray and Howard Roads	Property size (In acres) 0.95 AC	
Property Owner Stonehenge Manor HOA, Inc.	Phone 919-235-2964	Fax
Owner's Mailing Address 1210 Trinity Road, Suite 102 Raleigh, NC 27607	Email rbailey@royaloakshomes.com	
Project Contact Person Rob Bailey	Phone 919-235-2964	Fax
Contact Person's Mailing Address 1210 Trinity Road, Suite 102 Raleigh, NC 27607	Email rbailey@royaloakshomes.com	
Property Owner Signature <i>[Signature]</i>	Email rbailey@royaloakshomes.com	
Notary Sworn and subscribed before me this <u>12</u> day of <u>OCTOBER</u> , 20 <u>17</u>	Notary Signature and Seal <i>[Signature]</i> 	

my commission expires 3/5/20

Application for Variance



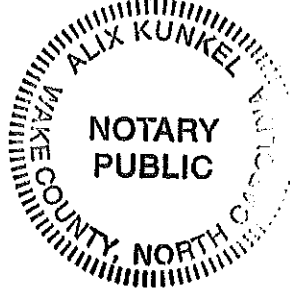
RALEIGH
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Provide all previous transaction numbers for Coordinated Team Reviews, Due Diligence Sessions, or Pre-Submittal Conferences. If this property was the subject of a previous variance request, provide the case number.	

GENERAL INFORMATION		
Property Address	2605 Stonehenge Manor Drive	
Date	10-13-17	
Property PIN	0797-17-8793	
Current Zoning	R-4	
Nearest Intersection	Ray and Howard Roads	
Property size (In acres)	0.54 AC	
Property Owner	Stonehenge Manor HOA, Inc.	Phone 919-235-2964 Fax
Owner's Mailing Address	1210 Trinity Road, Suite 102 Raleigh, NC 27607	
Email	rbailey@royaloakshomes.com	
Project Contact Person	Rob Bailey	Phone 919-235-2964 Fax
Contact Person's Mailing Address	1210 Trinity Road, Suite 102 Raleigh, NC 27607	
Email	rbailey@royaloakshomes.com	
Property Owner Signature	<i>[Signature]</i> Email rbailey@royaloakshomes.com	
Notary	Notary Signature and Seal	
Sworn and subscribed before me this	12 day of	
	OCTOBER, 2017	
	<i>[Signature]</i> 	

my commission expires 3/15/20

STATEMENT OF VARIANCE

1. Unnecessary hardship would result from the strict application of the ordinance. It shall not be necessary to demonstrate that, in the absence of the variance, no reasonable use can be made from the property.

This is a public safety issue. Please see response to item #4.

2. The hardship results from conditions that are peculiar to the property, such as location, size or topography. Hardships resulting from personal circumstances, as well as hardships resulting from conditions that are common to the neighborhood or the general public, may not be the basis for granting a variance.

This is a public safety issue. Please see response to item #4.

3. The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify the granting of a variance shall not be regarded as a self-created hardship.

This is a public safety issue. Please see response to item #4.

4. The requested variance is consistent with the spirit, purpose and intent of the ordinance; such that public safety is secured and substantial justice is achieved.

On January 13, 2017, a bullet fired from Ray Road lodged itself into the wooden bedframe of a sleeping resident at 7613 Stonehenge Farm Lane in the Stonehenge Manor subdivision. A similar incident occurred on August 31, 2017, at 7629 Stonehenge Farm Lane, except this time, the bullet was lodged in the mattress while the resident slept. Both times, the bullets were fired into the backs of these homes from Ray Road. Understandably, the Stonehenge Manor homeowners are very concerned for their safety.

As a result, the Stonehenge Manor Homeowners Association (HOA) held an emergency meeting on September 20, 2017, to get recommendations from the Police Department on how better to safely secure their neighborhood. Detective Silvius and Officer Jacobson of the Raleigh Police Department met with Stonehenge Manor homeowners, representatives of the HOA's management company, the developer, and the builder. The HOA is in the regular practice of keeping minutes of every meeting and reducing those minutes to a writing. Attached hereto and incorporated herein as Exhibit A is an excerpt of the minutes of the aforementioned meeting. The excerpt demonstrates that Detective Silvius' recommendation was that a fence that can block rounds be installed on the berm.

Pursuant to that recommendation, Stonehenge Manor Homeowners Association, Inc., on behalf of its members, is requesting relief from Section 7.2.8.B of the Unified Development Ordinance (UDO) in order to install a 6 and one half foot tall, fully opaque fence within fifteen feet (15') of a public right-of-way. To be clear, UDO Section 7.2.8.C would allow a 6 and one half foot tall fence or wall to be located within 15 feet from the edge of the right-of-way, so long as it is screened with evergreen planting materials. Problematic; however, is the requirement in Section 7.2.8.B.9 that any wall or fence located adjacent to a street be no more than 50% opaque above 4 feet in height. The HOA is requesting relief from this section in order to install a fully opaque 6 and one half foot tall wall or fence adjacent to a street.

EXHIBIT A

Stonehenge Manor Community Safety Meeting Transcript EXCERPTS
September 20, 2017 @ 6:00PM

Det. Silvious:

"As far as 'what can you do', there's there's a lot of options here. One of them is, if you're asking the police to do some action on it, these people are going to be notified formally by police that they are trespassing on that property and are no longer allowed. Or, there's going to have be Trespassing signs, sorry, I mean No Trespassing signs, placed around that community, and it's going to have to be set-up in a way that it's no longer like a walk-through or a cut-through type of community. I know that this might sound strange, and what may sound like common sense is not always common sense with the courts and how they like to rule on trespassing."

Officer Jacobson:

"When there's no fence, you have to have a (No Trespassing) sign. If there is a fence, then it's implied, you're automatically trespassing."

Det. Silvious:

"The fence would be up to you guys.... There's multiple ideas you can have for a fence, and that's going to depend on you guys, on what you want. I mean, you could do a chain link fence, just a barrier, but you could look through it. That's not gonna stop a bullet.... Um, or you could do a wooden fence; it would probably stop most hollow point bullets, but it probably won't stop a ball ammo from any type of gun. Now, it may hit your house and not travel much further through your house.... Now, your berm pretty much covers your first floor.... It may not completely cover it.... If you want a fence, you may want to put one up there that will stop bullets.... You're going to have to look at the height. It may be something you have to go to the City with, and Planning and things.... It would keep people from standing on the sidewalk and just firing rounds at your house. I don't think that there's a problem with a fence, but that's going to have to come from City Inspections, and they're going to have to give the go-ahead on that.... That's going to be out of my authority."

Development Team Member:

".... What we want to do is we want to listen (to Det. Silvious) and get recommendations on what can we do as a community...."

Det. Silvious:

"I'll tell ya, I like the fence. I like the fence as far as as blocking a round coming to your house. I would put it up on the berm."

EXHIBIT B
POLICE REPORTS

CRIME(S) - CLASSIFICATION:		UCR:	DATE/TIME RPTD: SHIFT: BEAT: COMPLAINT NO:			
Assault/Aggravated		25G	01/13/17 07:03 03 114 p17002156			
Damage to Property (Group A)		53A				
LOCATION OF CRIME:		TYPE OF PREMIS:				
RAY RD / DOUGLAS DR						
OFFENSE DAY(S):	DATE OF OFFENSE:	HRS OF OFFENSE:	OFFICER'S NAME:	CODE NO:		
FRI TO FRI	01/13/17 TO 01/13/17	06:50 TO 07:00	LAFEMINA	4116		
REPORTED BY:	ADDRESS:		PHONE:			
"CODES" --> S-STOLEN R-RECOVERED L-LOST D-DAMAGED PROPERTY F-FOUND PROPERTY						
CODE:	QTY:	DESCRIPTION OF PROPERTY:	SERIAL NO:	VALUE:		
VALUE DAMAGED: VALUE RECOVERED: TOTAL VALUE STOLEN:						
VICTIM(S) (LAST, FIRST, MI):		RACE:	SEX:	AGE:	COMPLETE ADDRESS:	
EMPLOYER-SCHOOL:		BUSINESS PHONE:		CITY/STATE:		
V-BALDWIN, SARAH	W	F	53	***7613	STONEHENGE FARM LN Raleigh, NC	
PHONE:		202-420-1742				
PERSON(S) ARRESTED:		HOME ADDRESS:		RACE: SEX: AGE: CHARGE:		

CERTIFIED COPY

Provided from the
RALEIGH POLICE DEPARTMENT

(919) 996-3325

CRIME(S) - CLASSIFICATION:	UCR:	DATE/TIME RPTD:	SHIFT:	BEAT:	COMPLAINT NO:
Assault/Aggravated	25G	01/13/17 07:03	03	114	p17002156
Damage to Property (Group A)	53A				

LOCATION OF CRIME:	TYPE OF PREMIS:
RAY RD / DOUGLAS DR	

OFFENSE DAY(S):	DATE OF OFFENSE:	HRS OF OFFENSE:	OFFICER'S NAME:	CODE NO:
FRI TO FRI	01/13/17 TO 01/13/17	06:50 TO 07:00	LAFEMINA	4116

REPORTED BY:	ADDRESS:	PHONE:
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"CODES" --> S-STOLEN R-RECOVERED L-LOST D-DAMAGED PROPERTY F-FOUND PROPERTY

CODE:	QTY:	DESCRIPTION OF PROPERTY:	SERIAL NO:	VALUE:
1.D	1	glass window with a bullet hole through		100.00
2.D	1	WOODEN BED FRAME		200.00

VALUE DAMAGED:	VALUE RECOVERED:	TOTAL VALUE STOLEN:
300.00		

VICTIM(S) (LAST, FIRST, MI):	RACE:	SEX:	AGE:	COMPLETE ADDRESS:	PHONE:
EMPLOYER-SCHOOL:				BUSINESS PHONE:	CITY/STATE:
V-BALDWIN, DENNIS	W	M	62	***7613 STONEHEDGE FARM LN	202-256-3020
				RALEIGH, NC	

PERSON(S) ARRESTED:	HOME ADDRESS:	RACE:	SEX:	AGE:	CHARGE:
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CERTIFIED COPY

Provided from the
RALEIGH POLICE DEPARTMENT
(919) 996-3325

CRIME(S) - CLASSIFICATION: Assault/Aggravated		UCR: 25G	DATE/TIME RPTD: SHIFT: BEAT: COMPLAINT NO: 08/31/17 23:23 02 114 p17047627			
LOCATION OF CRIME: ***7629 STONEHENGE FARM LN		TYPE OF PREMIS:				
OFFENSE DAY(S): THU TO THU	DATE OF OFFENSE: 08/31/17 TO 08/31/17	HRS OF OFFENSE: 10:30 TO 10:30	OFFICER'S NAME: CRUZ	CODE NO: 4196		
REPORTED BY:	ADDRESS:		PHONE:			
"CODES" --> S-STOLEN R-RECOVERED L-LOST D-DAMAGED PROPERTY F-FOUND PROPERTY						
CODE:	QTY:	DESCRIPTION OF PROPERTY:	SERIAL NO:	VALUE:		
VALUE DAMAGED: VALUE RECOVERED: TOTAL VALUE STOLEN:						
VICTIM(S) (LAST, FIRST, MI): EMPLOYER-SCHOOL: V-LOWE, JESSICA GREINER CARDINAL GIBBONS HIGH SCHOOL		RACE: W	SEX: F	AGE: 36	COMPLETE ADDRESS: BUSINESS PHONE: CITY/STATE: ***7629 STONEHENGE FARM LN 919-834-1625 RALEIGH, NC	
PHONE: 919-601-0231						
PERSON(S) ARRESTED:	HOME ADDRESS:		RACE: SEX: AGE: CHARGE:			

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Provided from the
RALEIGH POLICE DEPARTMENT
(919) 996-3325

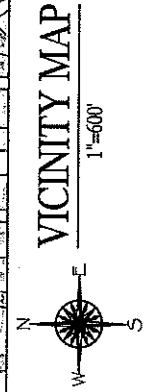
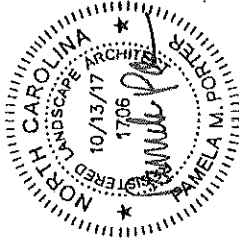
developer:
Stonehenge Manors Developers
1210 Trinity Road, Ste. 102
Raleigh, NC 27607

landscape architect:
Tony M. Tate Landscape Architecture P.A.
5011 Southpark Drive Suite 200
Durham, North Carolina 27713
P: (919) 484-8880
F: (919) 484-8881
tony@tmtla.com

owner:
Stonehenge Manors Developers
1210 Trinity Road, Ste. 102
Raleigh, NC 27607

STONEHENGE MANORS PLOT PLAN

7621 Stonehenge Farm Lane (PIN 0797-17-8110)
2605 Stonehenge Manor Drive (PIN 0797-17-8793)
Raleigh, North Carolina



VICINITY MAP
1"=600'

SUBMITTALS
FIRST SUBMITTAL 10/13/17

SHEET INDEX

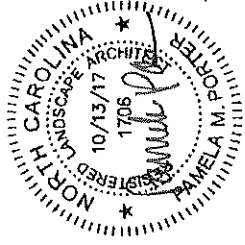
COVER SHEET	
FENCE LOCATION PLAN	L-1
FENCE DETAIL	L-2
FENCE AND LANDSCAPE DETAILS	L-3
COLUMN DETAILS	L-4
CITY OF RALEIGH TREE FENCE DETAIL	L-5

TONY M. TATE LANDSCAPE ARCHITECTURE, P.A.
5011 SOUTHPARK DRIVE, STE. 200 - DURHAM, NC 27713
P: (919) 484-8880 F: (919) 484-8881 E: tony@tmtla.com

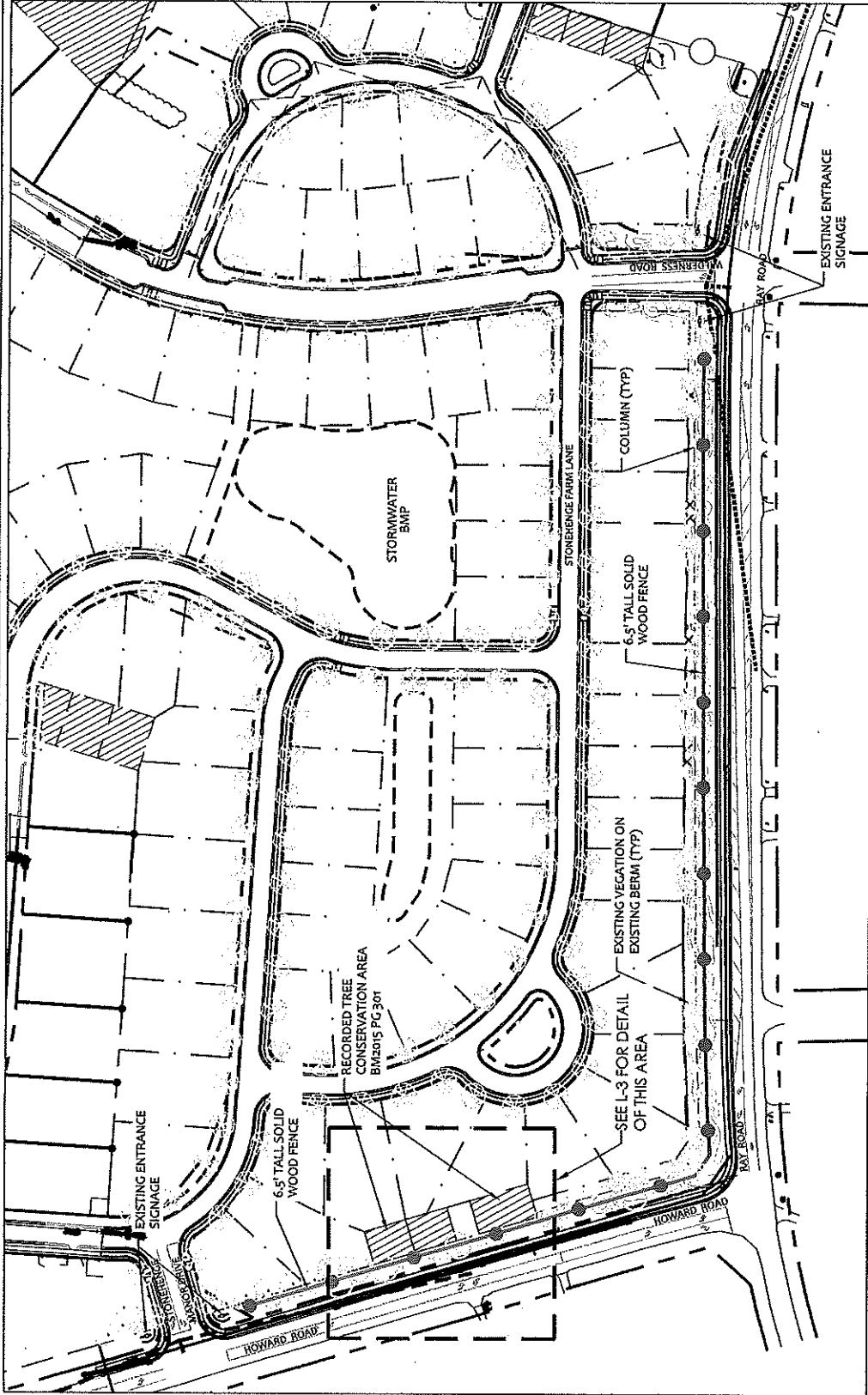
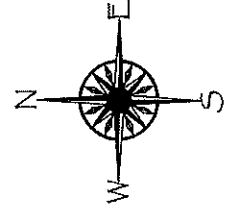
STONEHENGE MANORS PLOT PLAN

10/13/2017

COVER



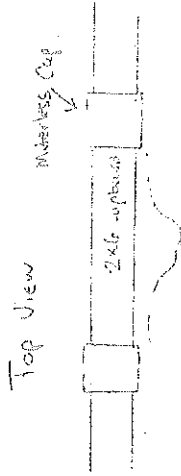
- LEGEND:
- PROPOSED FENCE
 - EXISTING VEGETATION
 - PROPOSED COLUMN



SCALE: 1" = 150'

STONEHENGE MANORS PLOT PLAN - ADDED FENCE LONG HOWARD ROAD AND RAY ROAD

SCOPE: FENCE BEING ADDED ALONG THE FRONTAGE OF HOWARD ROAD AND RAY ROAD BETWEEN THE TWO ENTRANCES TO STONEHENGE MANORS. FENCE SHALL START APPROXIMATELY 50' FROM THE RIGHT OF WAY OF EACH ENTRANCE AND BE LOCATED 15' OFF OF THE RIGHT OF WAY EXCEPT AT THE CORNER OF HOWARD ROAD AND RAY ROAD, WHERE THE FENCE IS 20' OFF OF THE RIGHT OF WAY. ALL CONSTRUCTION SHALL CONFORM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. PLEASE SEE L-2 FOR FENCE DETAIL.



Top View

FENCE SHALL BE 6.5' TALL FROM GROUND TO TOP OF FENCE POST CAPS

6' high

Miterless Caps

2x4 cap rail

2x4 all both sides with pickets sandwiched between

3/4 x 5 1/2 vertical picket spaced approx 2 1/2"

3/4 x 5 1/2 vertical picket to overlap the 2 1/2" gap (board on board)

72" high

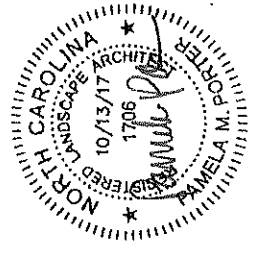
CONCRETE SHALL NOT DAYLIGHT (TYP)

Ground level

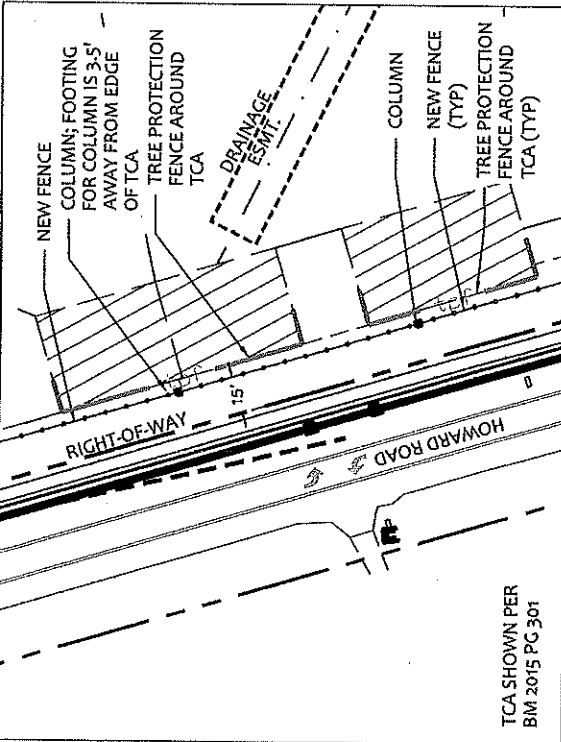
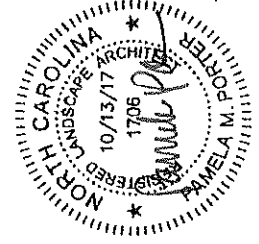
24" deep

Concrete

Front View



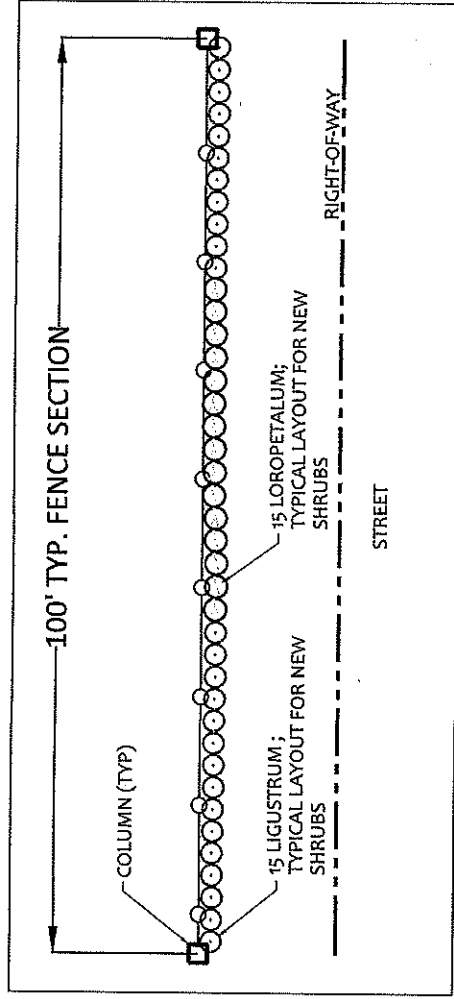
FENCE DETAIL BY SEEGARS FENCE CO.



TREE FENCE FOR AROUND PLATTED TCA AREAS

Fence Notes:

1. Fence shall be stained on both sides.
2. Fence shall be stained with Sherwin Williams SuperDeck Semi-Transparent Stain in Leeward (3533).
3. Construction of fence shall conform to City of Raleigh standards and specifications.
4. No fence shall be located in any planted tree conservation area.
5. Stone on columns shall match existing entrance signage.

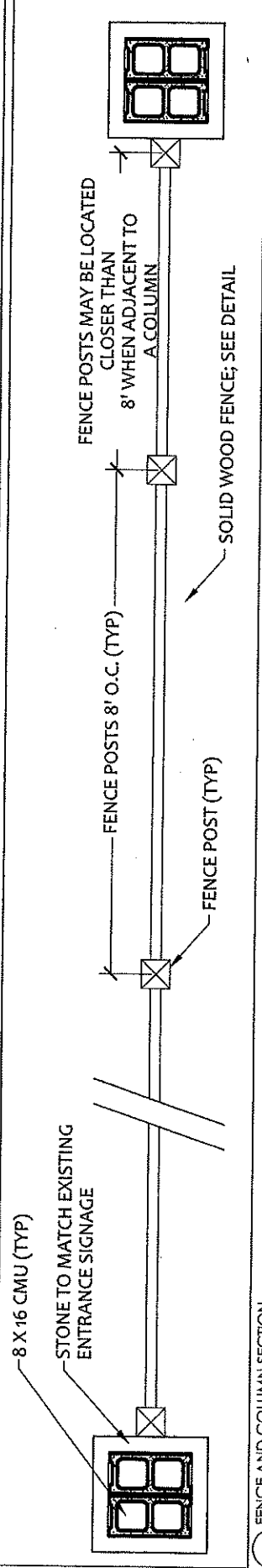


TYPICAL 100' FENCE SECTION SHOWING LANDSCAPING

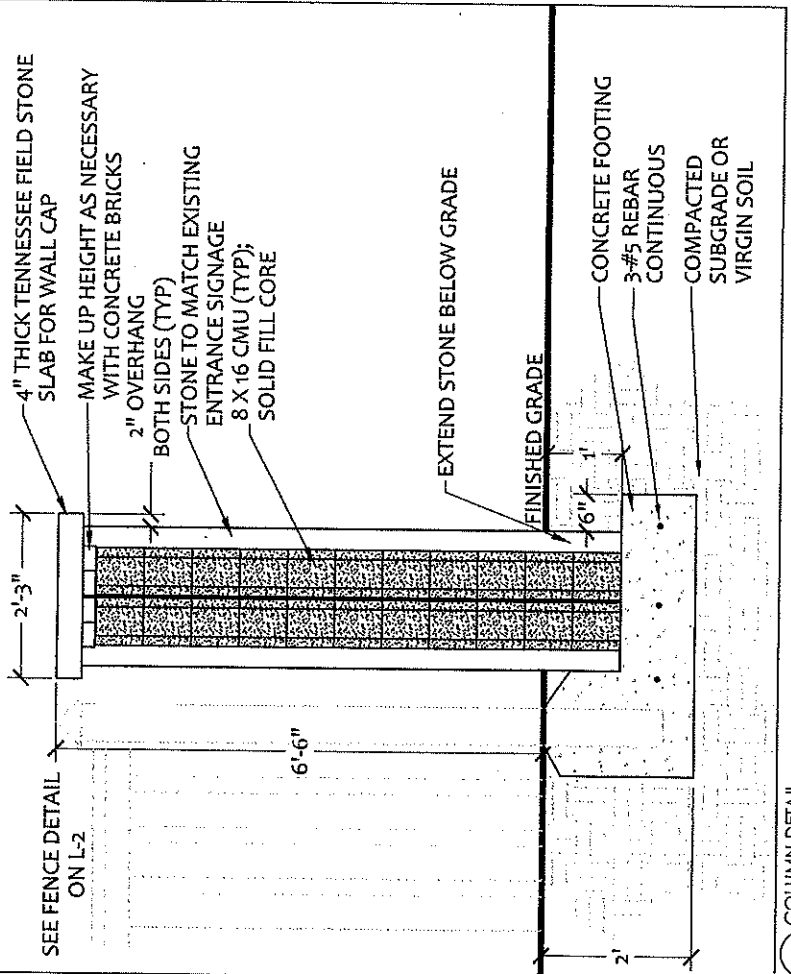
SCALE: 1" = 10'

Planting Notes:

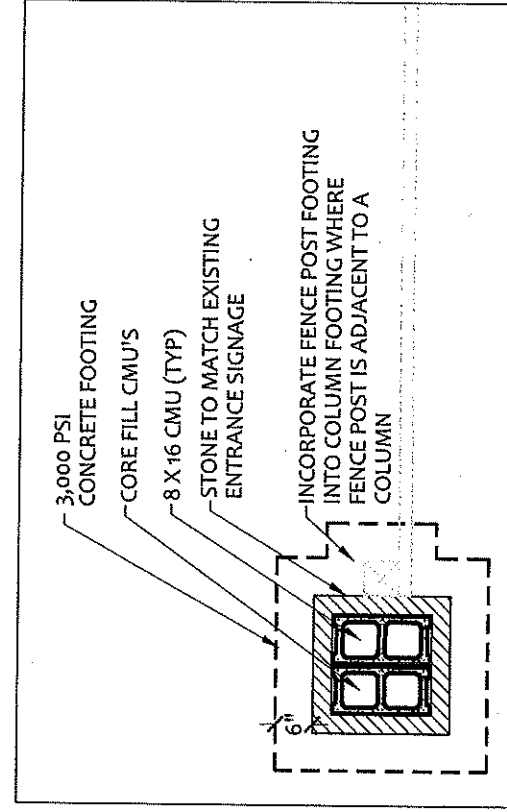
1. This is for a typical 100' section of fence. Existing Ligustrum and Loropetalum shall be used to meet the detail above so grouping quantities may vary slightly depending on existing conditions.
2. Approximately 140 new shrubs will be installed. Exact quantities of new Ligustrum and Loropetalum will depend on existing conditions. New shrubs shall screen 75% of the fence after 3 years. Existing shrubs are serpentine and will not be linear when being used to screen new fence.
3. Planting for fence shall be on the street side of the fence.



SCALE: 1/2" = 1'



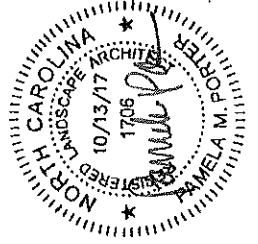
SCALE: 1/2" = 1'

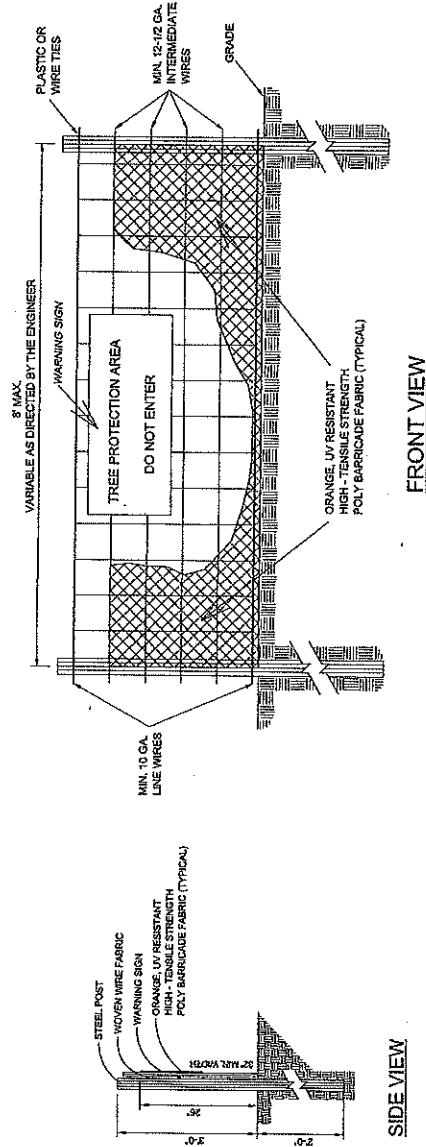
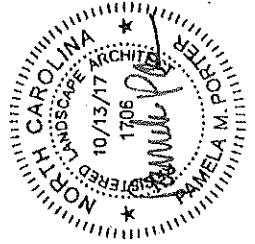


SCALE: 1/2" = 1'

Fence Notes:

1. Fence shall be stained on both sides.
2. Fence shall be stained with Sherwin Williams SuperDeck Semi-Transparent Stain in Leeward (S333).
3. Construction of fence shall conform to City of Raleigh standards and specifications.
4. No fence shall be located in any platted tree conservation area.
5. Stone on columns shall match existing entrance signage.
6. Fence posts shall be installed in concrete footings. Concrete shall not daylight.

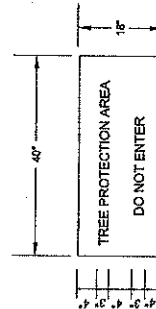




FRONT VIEW

SIDE VIEW

THIS TREE PROTECTION FENCE DETAIL IS REQUIRED FOR PROTECTION OF TREE CONSERVATION AREAS (UDO ARTICLE 9.1, TREE CONSERVATION) AND FOR CREDIT OF EXISTING TREES (UDO SECTION 7.2.7.E.)



WARNING SIGN DETAIL

- NOTES:
1. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL
 2. LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAIL
 3. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER
 4. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA
 5. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC
 6. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT
 7. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.

CITY OF RALEIGH PUBLIC WORKS DEPARTMENT		
REVISIONS	DATE: 8/1/13	NOT TO SCALE
	STANDARD TREE CONSERVATION AREA FENCE DETAIL	
	TC-02	

Stonehenge Manors - Variance: List of Property Owners Within 100' of Subject Properties

<u>PIN</u>	<u>Owner</u>	<u>Mail Address 1</u>	<u>Mail Address 2</u>
0797-16-6681	HARRIS, DAVID	7601 RAY RD	RALEIGH NC 27613-8805
0797-16-6991	BAXTER, CHRISTINE	7613 RAY RD	RALEIGH NC 27613-8805
0797-16-7811	BICKNER, EDWARD E BICKNER, NANCY A	7609 RAY RD	RALEIGH NC 27613-8805
0797-16-8417	FOSTER, DELORES J FOSTER, ABRON	7521 RAY RD	RALEIGH NC 27613-8803
0797-16-9779	ARAM, RICHARD H ARAM, NADIA G	7609 STONEHENGE FARM LN	RALEIGH NC 27613-1621
0797-16-9783	WOODALL, MICHAEL D WOODALL, CHARLES R	7605 STONEHENGE FARM LN	RALEIGH NC 27613-1621
0797-16-9855	BALDWIN, DENNIS R BALDWIN, SARAH E	7613 STONEHENGE FARM LN	RALEIGH NC 27613-1621
0797-16-9919	BENNETT, DOUGLAS BENNETT, SHELLEY	7625 STONEHENGE FARM LN	RALEIGH NC 27613-1621
0797-16-9930	LEISTEN, DAVID	7617 STONEHENGE FARM LN	RALEIGH NC 27613-1621
0797-17-4589	CHAVIS, EDWARD H JR RUSSELL, VALERIE C	7129 BARNWELL PL	FAYETTEVILLE NC 28303-2004
0797-17-5425	5100 COUNTRY TRAIL LLC	302 JEFFERSON ST STE 302	RALEIGH NC 27605-1289
0797-17-5523	CHAVIS, EDWARD HENRY JR	7129 BARNWELL PL	FAYETTEVILLE NC 28303-2004
0797-17-6130	GILL, ARTHUR	7621 RAY RD	RALEIGH NC 27613-8805
0797-17-6210	CHAVIS, KENNETH D	7625 RAY RD	RALEIGH NC 27613-8805
0797-17-6842	CHAVIS, CLARENCE E JR	3020 HOWARD RD	RALEIGH NC 27613-1655
0797-17-7459	ADILETTA, ANNE MARIE ADILETTA, PETER NICHOLAS	2609 BROOKSTONE RIDGE LOOP	RALEIGH NC 27613-1719
0797-17-7482	YU, LILY STYLER, KELLEN	2605 BROOKSTONE RIDGE LOOP	RALEIGH NC 27613-1719
0797-17-7566	BURKE, DAVID C BURKE, REBA SMITH	2613 BROOKSTONE RIDGE LOOP	RALEIGH NC 27613-1719
0797-17-8095	LOWE, TIMOTHY SCOTT LOWE, JESSICA GREINER	7629 STONEHENGE FARM LN	RALEIGH NC 27613-1621
0797-17-8110	STONEHENGE MANOR HOMEOWNERS ASSOCIATION, INC.	1210 TRINITY RD STE 102	CARY NC 27513-6245
0797-17-8166	ROYAL OAKS BUILDING GROUP, LLC	1210 TRINITY RD STE 102	CARY NC 27513-6245
0797-17-8181	DYKES, ERIK PERRIN, HEATHER	7701 STONEHENGE FARM LN	RALEIGH NC 27613-8857
0797-17-8238	ROYAL OAKS BUILDING GROUP, LLC	1210 TRINITY RD STE 102	CARY NC 27513-6245
0797-17-8242	STELMOK, KIMBERLY ROSE	7709 STONEHENGE FARM LN	RALEIGH NC 27613-8857
0797-17-8325	MACAULAY, ALASTAIR L MACAULAY, ELIZABETH E	7717 STONEHENGE FARM LN	RALEIGH NC 27613-8857
0797-17-8621	BILLINGS, DONALD RAY BILLINGS, RHODA BRYAN	2617 BROOKSTONE RIDGE LOOP	RALEIGH NC 27613-1719
0797-17-8793	STONEHENGE MANOR HOMEOWNERS ASSN, INC	1210 TRINITY RD STE 102	CARY NC 27513-6245
0797-17-8946	JUSTICE, RALPH JR TR, VIRGINIA C	10700 DEHUUSTON CT	RALEIGH NC 27614-8766
0797-17-9604	ROYAL OAKS BUILDING GROUP LLC	1210 TRINITY RD STE 102	CARY NC 27513-6245
0797-17-9674	ROYAL OAKS BUILDING GROUP, LLC	1210 TRINITY RD STE 102	CARY NC 27513-6245
0797-26-0607	ROYAL OAKS BUILDING GROUP LLC	1210 TRINITY RD STE 102	CARY NC 27513-6245
0797-26-0986	MARCIANO, MICHAEL MARCIANO, MONICA	7616 STONEHENGE FARM LN	RALEIGH NC 27613-1621
0797-26-1734	CASSIDY, DEVIN CASSIDY, SUSANN	7752 WILDERNESS RD	RALEIGH NC 27613-1675
0797-26-1809	PARITHIVEL, VELLORE PARITHIVEL, BANUMATHI	7612 STONEHENGE FARM LN	RALEIGH NC 27613-1621
0797-26-4428	SHM INVESTORS, LLC	1210 TRINITY RD STE 102	CARY NC 27513-6245
0797-27-0062	IGLEHEART, MICHAEL IGLEHEART, RITA M	7620 STONEHENGE FARM LN	RALEIGH NC 27613-1621
0797-27-0740	ROYAL OAKS BUILDING GROUP, LLC	1210 TRINITY RD STE 102	CARY NC 27513-6245
0797-27-0799	ROYAL OAKS BUILDING GROUP, LLC	1210 TRINITY RD STE 102	CARY NC 27513-6245

0797-27-1720	ROYAL OAKS BUILDING GROUP, LLC	1210 TRINITY RD STE 102	CARY NC 27513-6245
0797-27-1855	ROYAL OAKS BUILDING GROUP, LLC	1210 TRINITY RD STE 102	CARY NC 27513-6245
0797-27-2963	STONEHENGE MANOR HOMEOWNERS ASSN, INC	1210 TRINITY RD STE 102	CARY NC 27513-6245
0797-28-0031	WILSON, WILLIE EARL	5201A CREEDMOOR RD	RALEIGH NC 27612-6303
0797-17-3647	TURNER, LEON DEMPSEY	2721 HOWARD ROAD	RALEIGH NC 27613-1610
0797-17-5289	CHAVIS, KENNETH D	7625 RAY RD	RALEIGH NC 27613-8805
0797-17-6061	HOLDEN, DORIS	7617 RAY ROAD	RALEIGH NC 27613-8805
0797-16-7742	CLOSS, DARRYL AND ROSE	7605 RAY ROAD	RALEIGH NC 27613-8805
0797-26-1797	PIRRELLO, MARK	7748 WILDERNESS ROAD	RALEIGH NC 27613-1675
0797-26-1823	NEIDECKER, JOHN AND GINA	7608 STONEHENGE FARM LANE	RALEIGH NC 27613-1621

